

GENERAL ARRANGEMENT DRAWINGS



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EDMONTON 2014

ISSUED FOR CONSTRUCTION & BUILDING PERMIT

MAY 2014

CONSULTANTS:



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CONTRACTORS:



EXTERIOR WALL ASSEMBLIES

[illegible]

INTERIOR WALL ASSEMBLIES

SS1

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
124 mm			38		
16 mm	GYPSUM BOARD				09 29 00
92 mm	STEEL STUDS @ 406 mm O.C.				09 22 16
16 mm	GYPSUM BOARD				09 29 00

NOTES: STC RATING IS BASED ON NBC-S4d

SS2

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
124 mm			47	NBC-S4b	
16 mm	GYPSUM BOARD				09 29 00
92 mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
16 mm	90 mm ACOUSTIC BATT				
	GYPSUM BOARD				09 29 00

NOTES:

SS3

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
184 mm			41		
16 mm	GYPSUM BOARD				09 29 00
152 mm	STEEL STUDS @ 406 mm O.C.				09 22 16
16 mm	GYPSUM BOARD				09 29 00

NOTES: STC RATING IS BASED ON NBC-S7b

SS4

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
184 mm	60		51	NBC-S7a	
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
152mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150mm ACOUSTIC BATT				
16 mm	GYPSUM BOARD TYPE "X"				09 29 00

NOTES: FRR BASED ON ULC - W409. WALL EXTENDS TO UNDERSIDE OF STRUCTURE

SS5

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
229 mm			61	NBC-S14a	
16 mm	GYPSUM BOARD				09 29 00
16 mm	GYPSUM BOARD				09 29 00
152 mm	1.22 mm STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150 mm ACOUSTIC BATT				
13 mm	RESILIENT CHANNELS @ 610 mm O.C.				09 22 16
16 mm	GYPSUM BOARD				09 29 00
16 mm	GYPSUM BOARD				09 29 00

NOTES:

SS6

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
124 mm	60		55	NBC-S8a	
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
92 mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	92 mm ACOUSTIC BATT				
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
					09 29 00

NOTES: FRR BASED ON ULC - W409. WALL EXTENDS TO UNDERSIDE OF STRUCTURE

SS7

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
184 mm			51		
16 mm	GYPSUM BOARD				09 29 00
152mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150mm ACOUSTIC BATT				
16 mm	GYPSUM BOARD				09 29 00

NOTES: FRR BASED ON ULC - W409

CM1

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
190 mm	60	NBC-B1b	50	NBC-B1b	
190 mm	CMU				04 22 00

NOTES:

CM2

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
190 mm	60	NBC-B1b			
190 mm	CMU				04 22 00
16 mm	GYPSUM WALL BOARD				09 29 00

NOTES:

FW1

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
38 mm	60	60			
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
22 mm	FURRING CHANNELS @ 406 mm O.C.				09 22 16

NOTES:

SS8

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
118 mm					
16 mm	GYPSUM BOARD				09 29 00
152 mm	STEEL STUDS @ 406 mm O.C.				09 22 16
10 mm	AIR SPACE				

NOTES:

SS9

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
178 mm	60				
13 mm	GYPSUM BOARD TYPE "X"				09 29 00
152 mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150mm ACOUSTIC BATT				
13 mm	GYPSUM BOARD TYPE "X"				09 29 00

NOTES: FRR BASED ON ULC - W408

SH1

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
105 mm	60	ULC-W452-A	39	SA926	
16 mm	SHEETROCK GYPSUM FIRECODE CORE PANELS				09 29 00
64 mm	C-H STEEL STUDS @ 610 mm O.C. c/w				09 22 16
25 mm	SHEETROCK GYPSUM LINER PANEL				09 29 00

NOTES: CONFORM TO FLOOR TO FLOOR HEIGHT OF 4500mm

SS10

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
184 mm	120		51	NBC-S7a	
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
152mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150mm ACOUSTIC BATT				
16 mm	GYPSUM BOARD TYPE "X"				09 29 00

NOTES: FRR BASED ON ULC - W409. WALL EXTENDS TO UNDERSIDE OF STRUCTURE

SS10

WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
184 mm	120		51	NBC-S7a	
16 mm	GYPSUM BOARD TYPE "X"				09 29 00
152mm	STEEL STUDS @ 406 mm O.C. c/w				09 22 16
	150mm ACOUSTIC BATT				
16 mm	GYPSUM BOARD TYPE "X"				09 29 00

NOTES: FRR BASED ON ULC - W409. WALL EXTENDS TO UNDERSIDE OF STRUCTURE

SOFFIT ASSEMBLIES

SF1		WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
		STUCCO					09 24 33
		METAL LATH					09 22 16
		BUILDING PAPER					07 27 00
19 mm		EXTERIOR GRADE PLYWOOD					06 11 00
100 mm		METAL "Z" GIRTS C/W POLYISO INSULATION IN GIRT SPACE					09 22 16
		POLY VAPOUR BARRIER					07 27 00
16 mm		GYPSUM BOARD					
		METAL STUD FRAMING AS REQUIRED					09 22 16
NOTES:							

ROOF ASSEMBLIES

R1	WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.
	13 mm	SBS 2 PLY MEMBRANE ASPHALT IMPREGNATED FIBRE BOARD SLOPED RIGID INSULATION (thickness varies) RIGID INSULATION VAPOUR RETARDER			NEW CONSTRUCTION	07 52 16 09 29 00 07 21 13 07 21 13 07 26 00 06 11 00
	13 mm	GYPSON BOARD SHEATHING ON EXISTING WOOD DECK - TO REMAIN				

NOTES: FOR EXISTING BUILDING, REPLACE PLYWOOD AFTER ROOF INSULATION ONLY AS REQUIRED

FLOOR ASSEMBLIES

R2	WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.	XXX	R3	WIDTH	FIRE RATING	FRR REFERENCE	STC RATING	STC REFERENCE	NMS NO.	XXX	F1	EXISTING	F2	EXISTING				
	13 mm	SBS 2 PLY MEMBRANE ASPHALT IMPREGNATED FIBRE BOARD SLOPED RIGID INSULATION (thickness varies) RIGID INSULATION VAPOUR RETARDER				07 52 16 09 29 00 07 21 13 07 21 13 07 26 00 06 11 00	NEW CONSTRUCTION		13 mm 65 mm	SBS MEMBRANE ASPHALT IMPREGNATED FIBRE BOARD RIGID INSULATION				07 52 16 09 29 00 07 21 13			WOOD PLANKS PLYWOOD UNDERLAYMENT WOOD JOISTS WOOD PLANKS		CONCRETE DECK CORRUGATED STEEL DECK				
	13 mm	GYPSUM BOARD SHEATHING ON EXISTING 38 mm CORRUGATED STEEL DECK - TO REMAIN							16 mm	VAPOUR RETARDER PLYWOOD ROOF DECK				07 26 00 06 11 00			2 LAYER 13mm TYPE 'X' GYPSUM APPLIED TO EXISTING WOOD UIS OF WOOD BEAMS TO ACHIEVE 45 min FRR	NEW	FIREPROOFING SPRAY TO UIS OF METAL DECK AND ALL STEEL JOISTS TO ACHIEVE 45 min FRR	NEW			
NOTES: FOR EXISTING BUILDING, REPLACE PLYWOOD AFTER ROOF INSPECTION ONLY AS REQUIRED								NOTES: ROOF TPYE FOR NEW CLERESTOREYS								NOTES: FLOOR INFILL TO MATCH EXISTING FLOOR ASSEMBLY WHERE INDICATED							



**Kasian Architecture
Interior Design
and Planning Ltd**

D	2014-05-22	ISSUED FOR CONSTRUCTION & BUILDING PERMIT	
B	2013-10-07	ISSUED FOR INFORMATION	
A	2013-09-13	ISSUED FOR BUILDING PERMIT	
REV.	YYYY-MM-DD	REVISION / DRAWING ISSUE	REVIEW

CONSULTANT

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PROJECT

iHUMAN FACILITY RENOVATION

635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

CONSTRUCTION ASSEMBLIES

DRAWING ISSUE

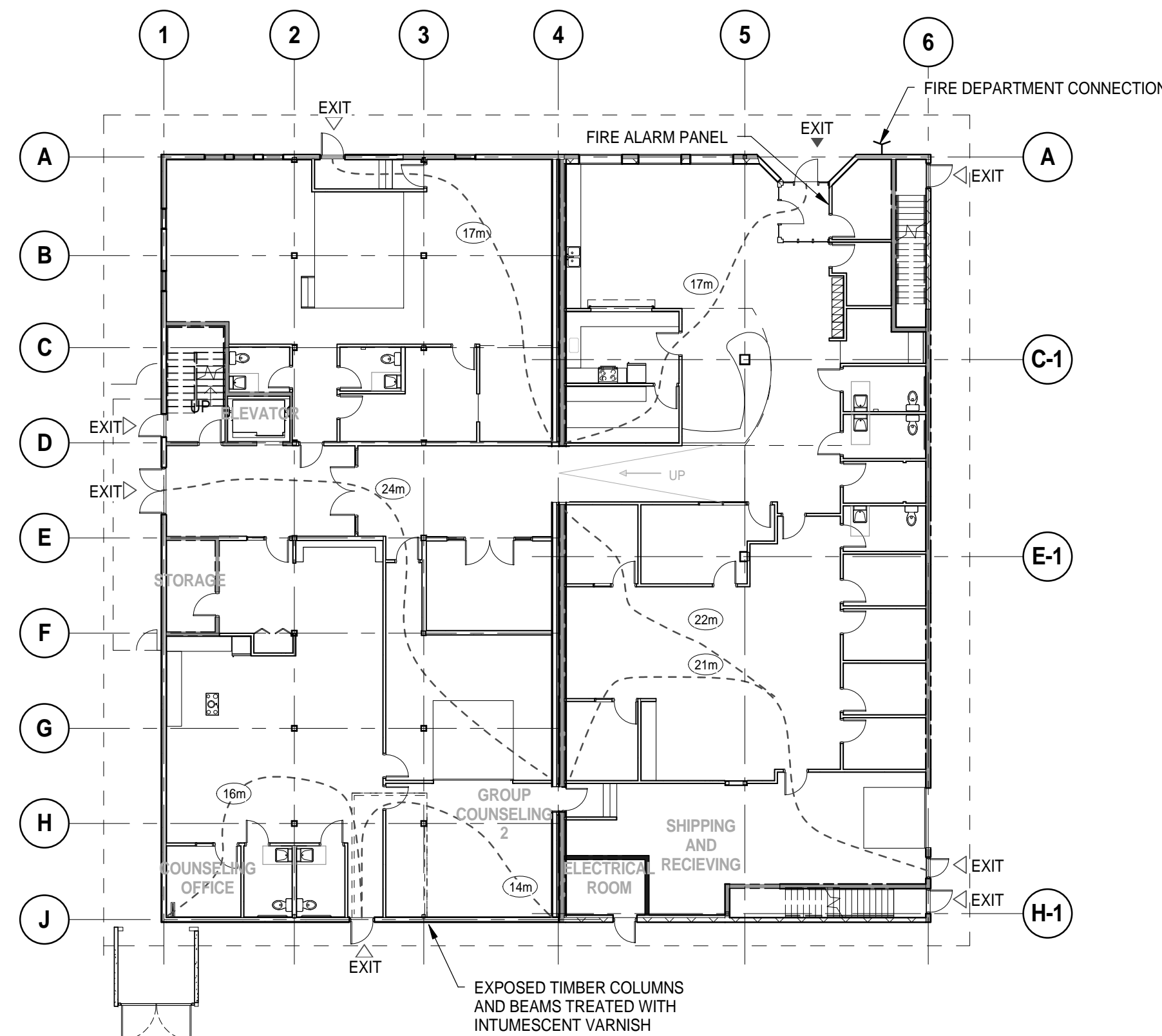
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MAY 22, 2014

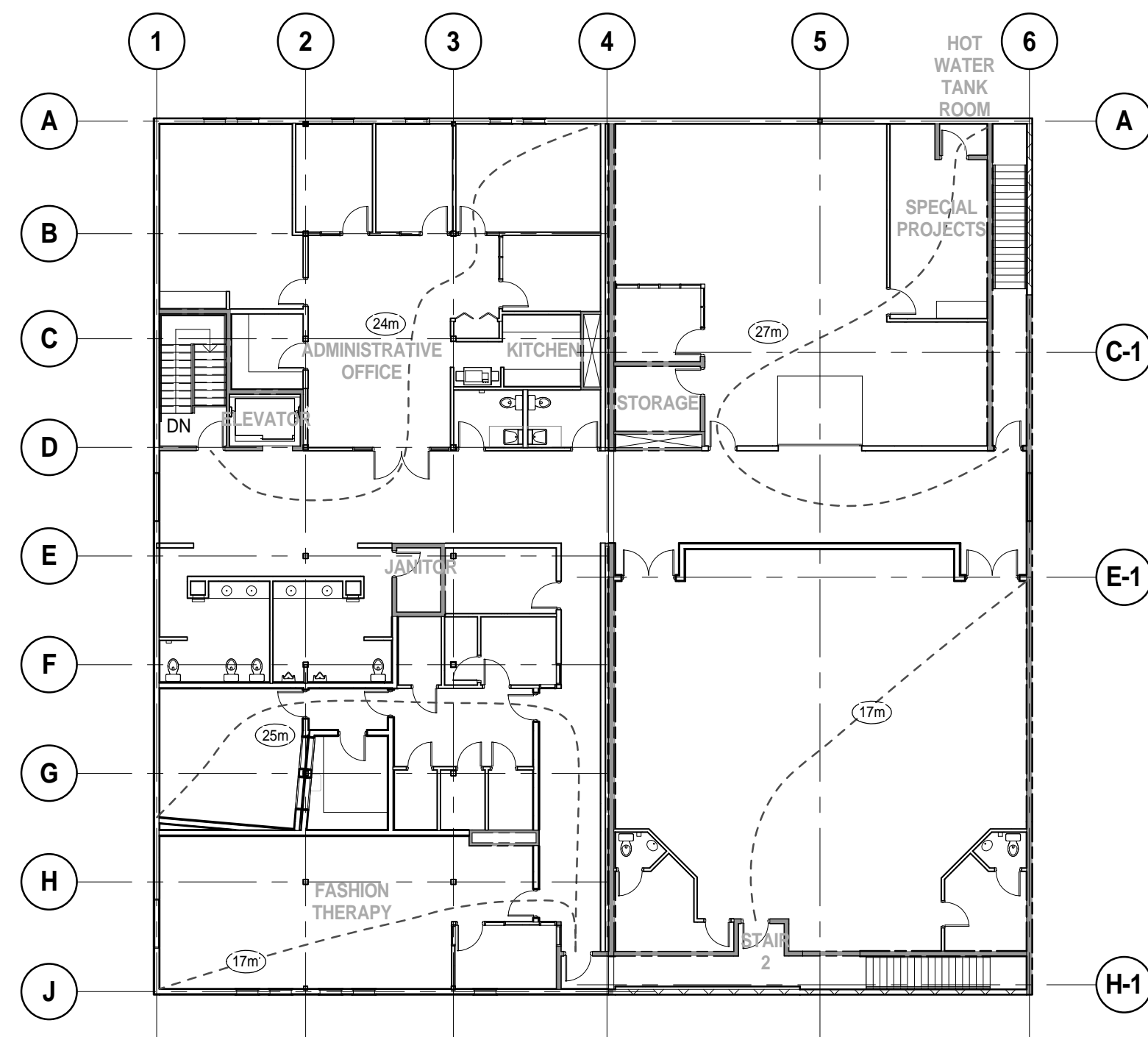
PROJECT NO. 150162	PLOT DATE MARCH 06, 2014	DRAWN KASIAN
	SCALE 1 : 100	REVIEWED JD

A00-01

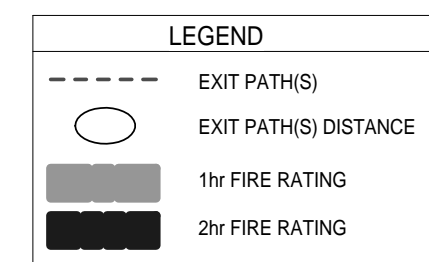
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1 CODE REVIEW GROUND FLOOR PLAN
A00-02 SCALE: 1 : 200



2 CODE REVIEW SECOND FLOOR PLAN
A00-02 SCALE: 1 : 200



3.2.3.1.C

LIMITING DISTANCE CALCULATIONS				
	AREA 1	AREA 2	AREA 3	AREA 4
AREA IN m ²	24.4	41.8	54.9	60.2
AREA OF U.O. IN m ²	2.7	2.25	3.34	9.96
% OF ACTUAL U.O.	11%	5.3%	4.9%	9.2%
AREA OF U.O. PERMITTED BY CODE (1.5m setback)	18%	16%	16%	16%
AREA OF U.O. PERMITTED BY CODE (2.0m setback)	26%	20%	20%	18%
AREA OF U.O. @ 1.9m SETBACK - ACTUAL (EXTRAPOLATED FROM CODE)	24%	19%	19%	17%

CODE ANALYSIS

Alberta Building Code 2006

This complex is being considered as one building for the purposes of Building Code evaluation.

Project Description
Change of use; interior alterations

Gross Building Areas:
Existing 1996 m2
New 1900 m2

Building Area
Existing 998 m2
New 960 m2

Construction: Two storeys, combustible and non-combustible construction, sprinklered

Heavy Timber
Construction 3.1.4.6 (2) Table 3.1.4.5; Columns supporting combustible 45 minute floors; minimum dimension 191 x 191. Existing timber beams are built up beams, 5 ply 75 x 305, fir. Code allows 130 x 228 or 175 x 190.

Intumescent Varnish required to supporting timber columns and beams.

Major Occupancies: Group A2 (Café/Classroom Space/Counseling areas)

Major Occupancy
Separation: Not required; per definition of *Major Occupancy*; subsidiary occupancies (office space etc) are an integral part of the principal occupancy

Classification: 3.2.2.26
Group A, Division 2 up to 3 storeys, increased Area, Sprinklered.

Construction 3.2.2.26 (2) Combustible and/or non-combustible construction permitted.

Maximum Allowable Area: 3.2.2.26(c)(ii) Two Storey building in this classification has a maximum area of 2,400 m2
Floor Assemblies: 3.2.2.26 (2) (a) floor assemblies shall be fire separations and if of combustible construction shall have a 45 minute rating. Non-combustible floors are fire separations with no rating.

Appendix D Table D-2.3.12; Two layers 13mm Type X Fire Rated Drywall required to underside wood framed floor.

Load Bearing Assemblies: 3.2.2.26 (2)(c) supporting combustible construction; 45 minute rating required. Supporting unrated non-combustible fire separations; no rating required.

See 3.1.4.6; Heavy Timber Construction

Clear Intumescent Coating required to main floor wood columns and beams

Roof Assembly: No fire rating required

Fire Stopping: 3.1.11 seal openings in fire rated wall and floor assemblies

Flame Spread Ratings: 3.1.13.2(1)
Exits: 25

Occupant Load: Table 3.1.17.1

OCCUPANT LOAD ACCORDING TO ABC 2006

Total Building Floor Area 1900m2
Classroom Style Space @ 20% area 380m2
1.85 m2 per person = occupant load of 206
Shops and Vocational space 45% area 855m2
9.30 m2 per person = occupant load of 92
Office Space 15% 285m2
9.30 m2 per person = occupant load of 30
Unoccupied Space 20% 380m2
TOTAL OCCUPANT LOAD BY CODE 328

Sprinkler System: Required, 3.2.2.26

Exits at office area: Travel Distance: 45 m, 3.4.2.5(1)(c)

Distance between Exits: Exit stairs to be half the diagonal distance of the floor apart.

Width and Height of Exits: Width 3.4.3.2
Corridors: 1100 mm
Stairs: 1100 mm
Doors: 800 mm

Height 3.4.3.4
Stairs: 2100mm
Doors: 2030mm (1980 to u/s closer)

Exit Fire Separation: 3.4.4.1 (1) 45 minute fire separation

Panic Hardware required: Exit doors & stair doors 3.4.6.12

Fire Alarm: Required, 3.2.4.1(1)

Standpipe Systems: Required, 3.2.5.8(1)

Fire Department Connection: 3.2.5.16(1) located within 3 to 15 m of principle entrance and not more than 45 m unobstructed to a fire hydrant

Fire Extinguishers: 3.2.5.17(1) Required in accordance with Alberta Fire Code

Elevator Required, 3.8.2.1 See section 3.2.6.4 for emergency operation and 3.2.6.5 for Fire Fighters requirements.

Elevator Hoistway, Doors & Machine Room: 3.5.3.1(1); 45 minute fire rating,

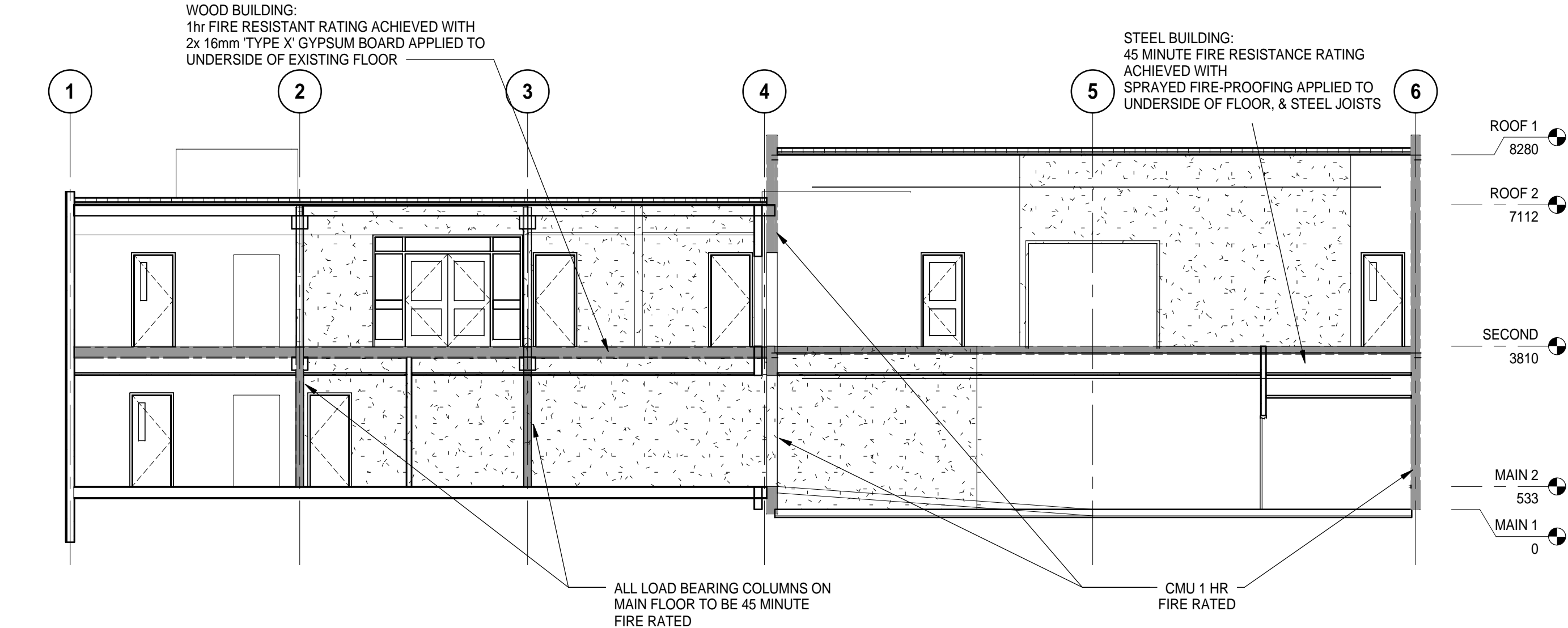
Janitor Room: 3.3.1.21(3); Fire separation without fire rating

Service Rooms with fuel-fired Appliances: 3.6.2.1(8); rating not required to a room with gas fired hot water tank (main floor water meter room/sprinkler room)

Electrical Room: 3.6.2.1 (6) 1 hour fire rating

Barrier Free Design: 3.8.2.1; Building must be fully barrier free

Barrier Free Parking Stalls: 3.8.2.2; one barrier free stall required.



4 BUILDING SECTION - FIRE SEPARATION AT FLOORS
A-1 Café SCALE: 1 : 100

Water Closets & Lavatories 7.2.2

Washroom Requirements: Main Floor Café;
7.2.2.5(1) two universal toilet rooms provided required for 25 females and 35 males (total 60 persons)

Total Occupant load 328 persons
Table 7.2.2.6.B for Assembly Occupancies (presumed 50/50 split male to female)

6 water closets or Male use
8 water closets for Female Use

Washrooms provided:
Main Floor: 7 water closers in washrooms planned as universal washrooms to be signed male/female per owners requirements
Second Floor: 4 water closets in assigned female washrooms, 4 water closets/urinals in assigned male washrooms. 2 convenience washrooms in dressing rooms

TOTAL WATER CLOSET COUNT = 19
TOTAL WATER CLOSETS REQUIRED PER ABC = 14



kasian

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D	2014-05-22	ISSUED FOR CONSTRUCTION & BUILDING PERMIT
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PROJECT

iHUMAN FACILITY RENOVATION

9635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

CODE REVIEW PLANS & ANALYSIS

DRAWING ISSUE

ISSUED FOR CONSTRUCTION & BUILDING PERMIT

MAY 22, 2014

PROJECT NO.	PLOT DATE	DRAWN	KASIAN
150162	MARCH 06, 2014	REVIEWED	JD
SCALE	As indicated		

DRAWING NO.

A00-02

REVISION

D

DOOR & FRAME SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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DOOR / FRAME LEGENDS & ABBREVIATIONS

LEGEND / ABBREVIATIONS

ALUM ALUMINUM
EXT EXTERIOR
F FRAME
G () GLASS (type)
GWG GEORGIAN WIRE GLASS
HM HOLLOW METAL
N/A NOT APPLICABLE
PS PRESSED STEEL
PTD PAINTED
SCW SOLID CORE WOOD
TSG TEMPERED SAFETY GLASS

DOOR TYPES LEGEND



SITE CONTEXT PLANS



SITE CONTEXT AERIAL

SITE STATISTICS

MUNICIPAL ADDRESS: 9635 - 102A AVENUE

SITE ZONING: DC1 - CIVIC QUARTERS

LEGAL DESCRIPTION: LOT 48 AFTER CONSOLIDATION
(PREVIOUSLY 11, 12, 13, 14 & 15)
BLOCK: 6 PLAN: ND

SITE AREA: 20,085 SF (1,867 SM) 0.46 ACRES (EXISTING)

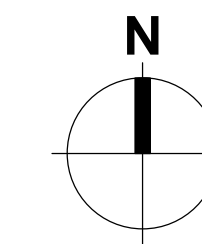
SITE COVERAGE: 53% (EXISTING)

OCCUPANCY GROUP: HEALTH SERVICES - B2

PROGRAM STATISTICS

GROUND FLOOR - 984 SM

2ND FLOOR - 988 SM



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9635 102A AVE, EDMONTON, ALBERTA, CANADA

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SITE CONTEXT

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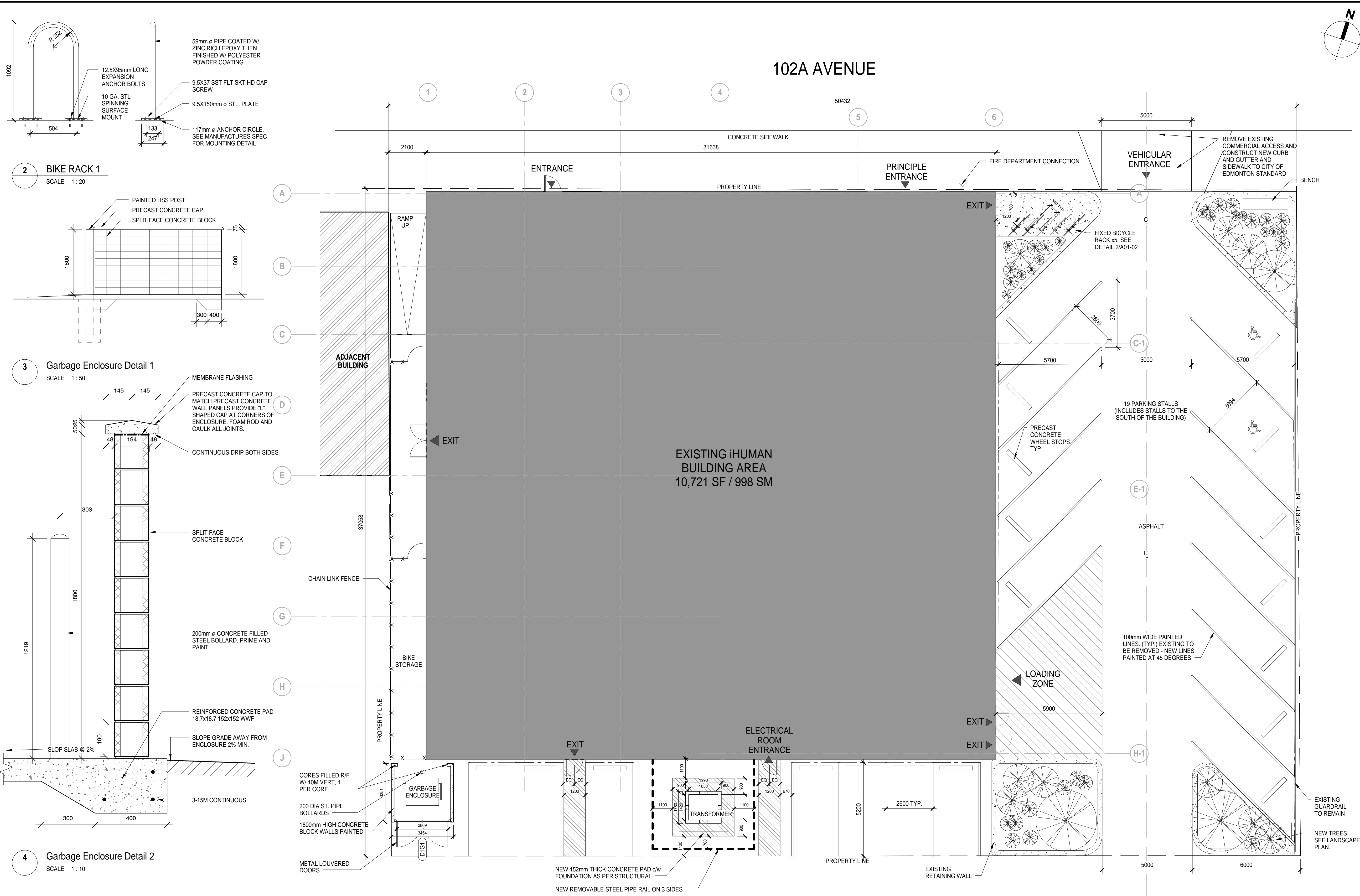
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	SCALE	REVIEWED JD

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SITE & PROGRAM STATISTICS:

GROUND FLOOR - 984 SM
2ND FLOOR - 988 SM
MUNICIPAL ADDRESS: 9635 - 102A AVENUE
SITE ZONING: DC1 - CIVIC QUARTERS
LEGAL DESCRIPTION: LOT 48 AFTER CONSOLIDATION
(PREVIOUSLY 11, 12, 13, 14 & 15)
BLOCK: 6 PLAN: ND
SITE AREA: 20,085 SF (1,867 SM) 0.46 ACRES (EXISTING)
SITE COVERAGE: 53% (EXISTING)
OCCUPANCY GROUP: HEALTH SERVICES - B2

1 SITE PLAN
SCALE: 1 : 100

- NOTE:**
- 1) REMOVE EXISTING FENCE ON WEST SIDE OF BUILDING
 - 2) REMOVE ALL VEGETATION AND ROOTS AT WEST SIDE OF BUILDING
 - 3) DIFFERING STUCCO CONDITIONS: MATCH ALL FINISHES ON NEW CONSTRUCTION TO EXISTING
 - 4) SIZE AND THICKNESS OF CONCRETE PAD TO BE DETERMINED BY THE SPECIFIC REQUIREMENTS OF THE TRANSFORMER UNIT



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PROJECT				
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DRAWING TITLE				
SITE PLAN				
DRAWING ISSUE				
ISSUED FOR CONSTRUCTION & BUILDING PERMIT				
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150162	MARCH 06, 2014	SCALE	As indicated	
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PROJECT

9635 102A AVE. EDMONTON, ALBERTA, CANADA

DRAWING ISSUE

MAY 22, 2014


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REVISION
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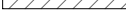


LEGEND


EXTENT OF DEMOLITION




EXTERIOR ENVELOPE TO BE REMOVED



EXISTING WALLS TO REMAIN



EXISTING DOOR TO REMAIN



PATCHED AREA OF FLOOR



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[illegible]

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PROJECT

9635 102A AVE, EDMONTON, ALBERTA, CANADA

SECOND FLOOR - EXISTING & DEMOLITION PLAN

ISSUED FOR CONSTRUCTION &
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PROJECT NO. 150162	PLOT DATE MARCH 06, 2014	DRAWN KASIAN
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LEGEND


EXTENT OF DEMOLITION



EXTERIOR ENVELOPE TO BE REMOVED



EXISTING TO REMAIN



PATCHED AREA OF FLOOR



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PROJECT

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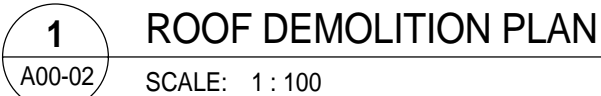
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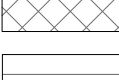
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LEGEND	
	EXISTING ROOF TO BE DEMOLISHED IN PREPARATION OF NEW CLERESTORIES
	EXISTING ROOF TO BE DEMOLISHED IN PREPARATION OF ELEVATOR OVERRIDE
	EXISTING ROOF TO BE DEMOLISHED IN PREPARATION OF ROOF TOP UNIT PENETRATIONS

NOTE: SEE STRUCTURAL FOR LOCATION AND SIZE OF DEMOLITION



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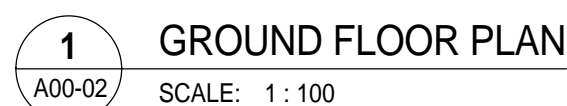
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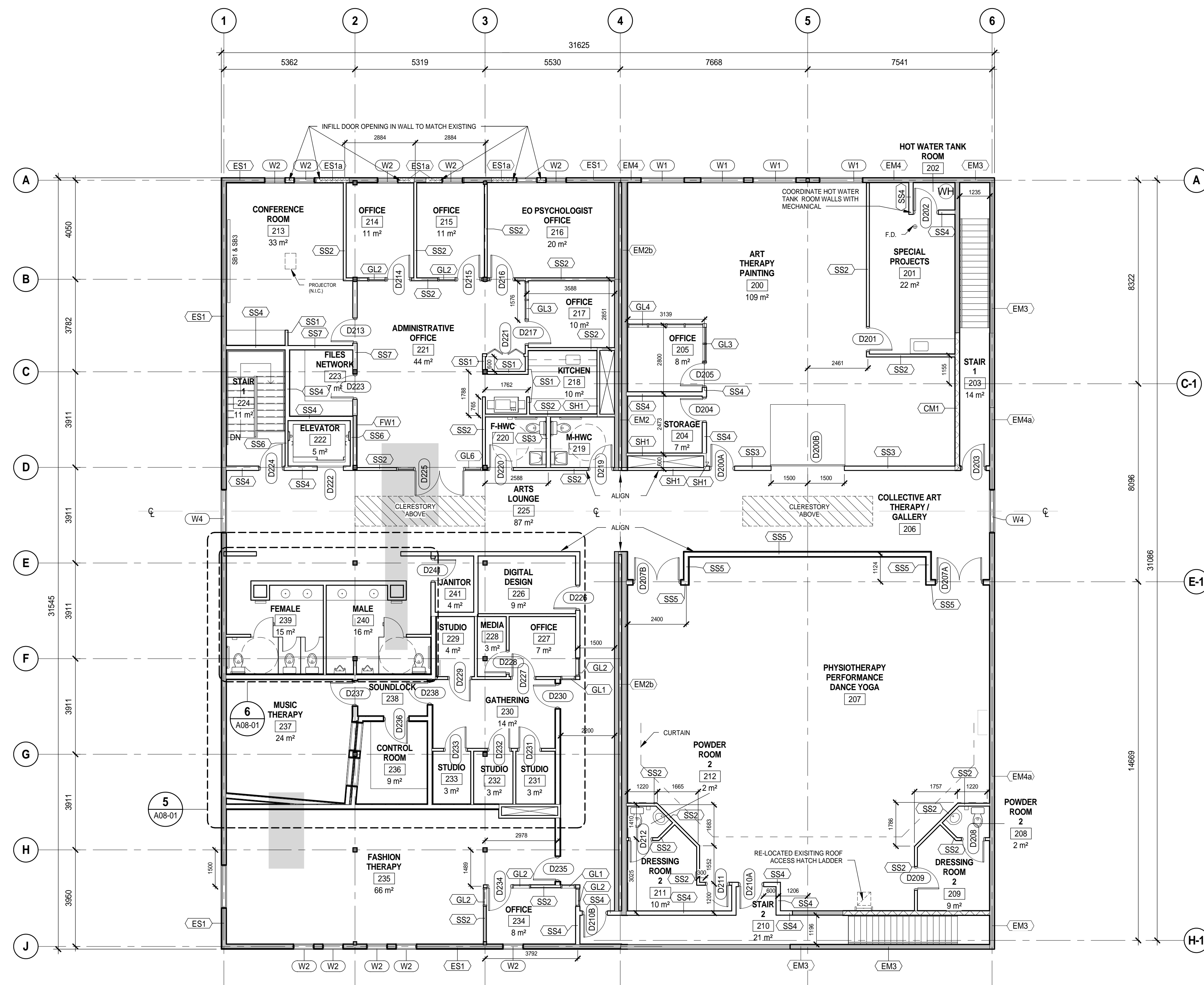
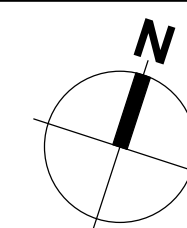
ALL **HANDICAP W/C's** COMPLETE WITH THE FOLLOWING HARDWARE:
TISSUE DISPENSER, SOAP DISPENSER, SANITARY NAPKIN DISPOSAL,
PAPER TOWEL
DISPENSER & WASTE RECEPTACLE, COAT HOOK PER TOILET DOOR, AND
TWO GRAB BARS.
ENSURE LAVATORY MILLWORK DIMENSIONS AND HEIGHT, AND DOOR
HARDWARE AS PER
BARRIER FREE STANDARD. COMPLY WITH ALL BARRIER FREE
REQUIREMENTS AS SPECIFIED
IN THE 2008 ALBERTA BARRIER FREE DESIGN GUIDE.

NOTE:

- 1.) ALL INTERIOR DRYWALL SURFACES TO BE PAINTED, COLOR TO BE DETERMINED
- 2.) ALL WASHROOM INTERIOR WALLS TO BE TILED
- 3.) ALL EXISTING CMU EXTERIOR TO BE PAINTED, COLOR TO BE DETERMINED
- 4.) DIFFERING STUCCO CONDITIONS - MATCH TO EXISTING
- 5.) WOOD BUILDING FLOORING - ALL EXISTING WOOD FLOORING TO BE REFINISHED

CT	CARPET TILE
PT	PORCELAIN FLOOR TILE
UN	UNFINISHED
VF	VINYL FLOORING
WF	WOOD FLOORING

EXISTING TO REMAIN	CG1 - CORNER GUARD 1 REFER TO COLOUR AND FINISHES SPECIFICATION
NEW GLAZING	CG2 - CORNER GUARD 2 REFER TO COLOUR AND FINISHES SPECIFICATION
NEW WALL	AD - ACCORDION DOOR REFER TO DOOR SCHEDULE FOR SPECIFICATION
EXISTING DOOR TO REMAIN	SB1, SB2, SB3 - SMART BOARD REFER TO COLOUR AND FINISHES SPECIFICATION
NEW DOOR	
FIRE EXTINGUISHER	
PATCHED AREA OF FLOOR	



GENERAL WC HARDWARE NOTES

ALL **MALE WC's** COMPLETE WITH THE FOLLOWING HARDWARE:
TISSUE DISPENSER, SOAP DISPENSER, COAT HOOK PER TOILET DOOR,
AND PAPER TOWEL DISPENSER & WASTE RECEPTACLE.

ALL **FEMALE WC's** COMPLETE WITH THE FOLLOWING HARDWARE:
TISSUE DISPENSER, SOAP DISPENSER, SANITARY NAPKIN DISPOSAL, COAT
HOOK PER TOILET DOOR, AND PAPER TOWEL DISPENSER & WASTE
RECEPTACLE.

ALL **HANDICAP WC's** COMPLETE WITH THE FOLLOWING HARDWARE:
TISSUE DISPENSER, SOAP DISPENSER, SANITARY NAPKIN DISPOSAL,
PAPER TOWEL
DISPENSER & WASTE RECEPTACLE, COAT HOOK PER TOILET DOOR, AND
TWO GRAB BARS.
ENSURE LAVATORY MILLWORK DIMENSIONS AND HEIGHT, AND DOOR
HARDWARE AS PER
BARRIER FREE STANDARD. COMPLY WITH ALL BARRIER FREE
REQUIREMENTS AS SPECIFIED
IN THE 2008 ALBERTA BARRIER FREE DESIGN GUIDE.

1 SECOND FLOOR PLAN
A00-02 SCALE: 1 : 100

NOTE:
1.) ALL INTERIOR DRYWALL SURFACES TO BE PAINTED, COLOR TO BE DETERMINED
2.) ALL WASHROOM INTERIOR WALLS TO BE TILED
3.) ALL EXISTING CMU EXTERIOR TO BE PAINTED, COLOR TO BE DETERMINED
4.) DIFFERING STUCCO CONDITIONS - MATCH TO EXISTING
5.) WOOD BUILDING FLOORING - ALL EXISTING WOOD FLOORING TO BE REFINISHED

LEGEND			
	EXISTING TO REMAIN		CG1 - CORNER GUARD 1 REFER TO COLOUR AND FINISHES SPECIFICATION
	NEW GLAZING		CG2 - CORNER GUARD 2 REFER TO COLOUR AND FINISHES SPECIFICATION
	NEW WALL		AD - ACCORDION DOOR REFER TO DOOR SCHEDULE FOR SPECIFICATION
	EXISTING DOOR TO REMAIN		SB1, SB2, SB3 - SMART BOARD REFER TO COLOUR AND FINISHES SPECIFICATION
	FIRE EXTINGUISHER		
	PATCHED AREA OF FLOOR		

PROJECT

iHUMAN FACILITY RENOVATION

9635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

**SECOND FLOOR - CONSTRUCTION
PLAN**

DRAWING ISSUE

**ISSUED FOR CONSTRUCTION &
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PROJECT NO. 150162 PLOT DATE MARCH 06, 2014 DRAWN KASIAN

SCALE As indicated REVIEWED JD

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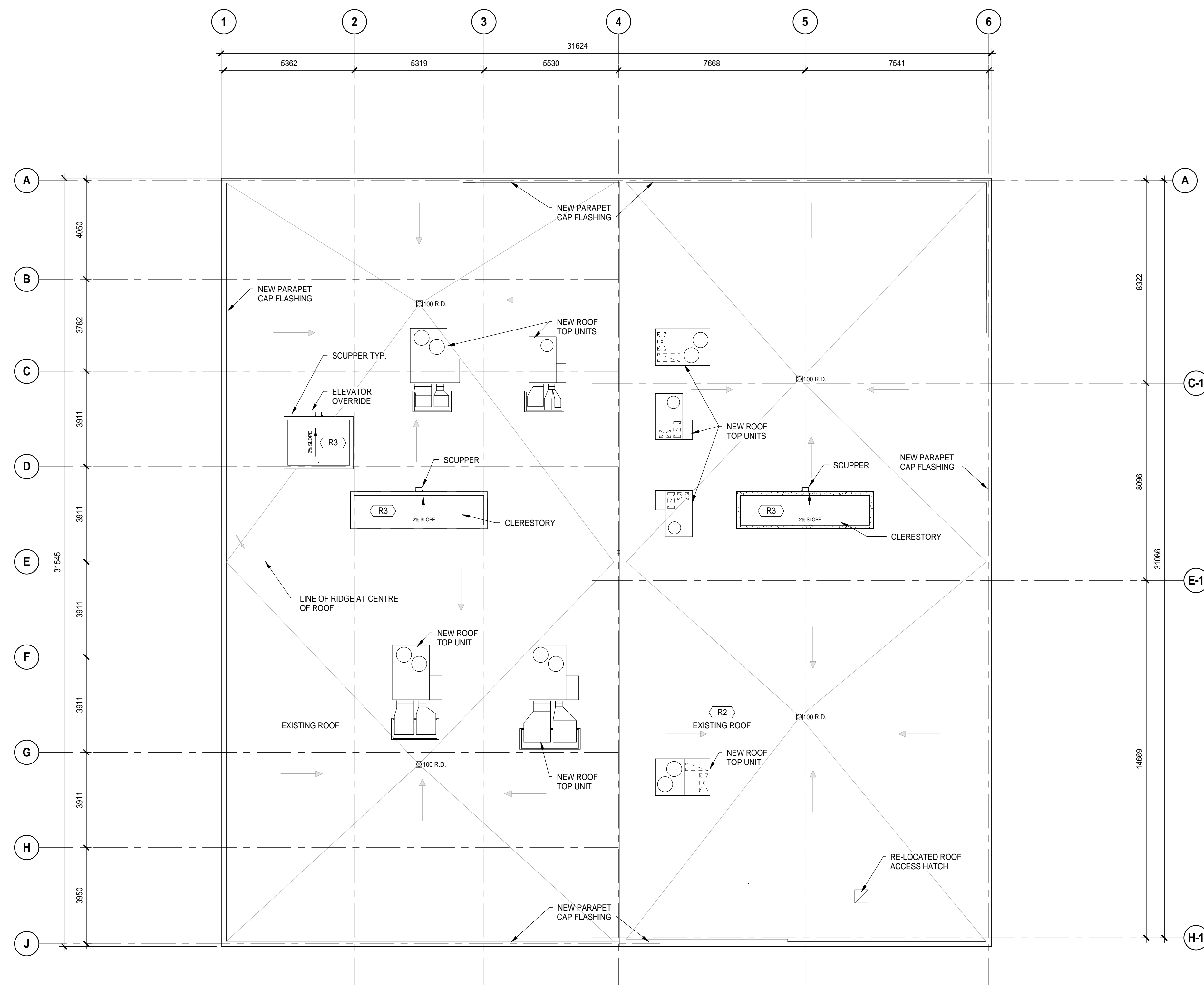
9635 102A AVE, EDMONTON, ALBERTA, CANADA

ROOF - CONSTRUCTION PLAN

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PROJECT NO. 150162	PLOT DATE MARCH 06, 2014	DRAWN KASIAN
	SCALE 1 : 100	REVIEWED JD

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1 ROOF PLAN
A00-02 SCALE: 1 : 100



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GROUND FLOOR - REFLECTED
CEILING PLAN

ISSUED FOR CONSTRUCTION &
BUILDING PERMIT

A03-01

REVIS	D
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WOOD CONSTRUCTION BUILDING - MAIN FLOOR:
INSTALL NEW GWB 'TYPE X' LAYER TO UNDERSIDE OF EXISTING WOOD
CEILING TO ACHIEVE A FIRE RESISTANCE RATING OF 45 MINUTES

STEEL CONSTRUCTION BUILDING - MAIN FLOOR:
SPRAY FIRE PROOFING TO UNDERSIDE OF STRUCTURE TO ACHIEVE
A FIRE RESISTANCE RATING OF 45 MINUTES

CEILING TYPES

GWB-X
2700

GWB-X - RATED GYPSUM WALL BOARD

	POT LIGHT
	FLUORESCENT STRIP LIGHT
	2 LAMP LINEAR PENDENT LIGHT - 1200mm
	ADJUSTABLE TRACK LIGHT - 2400mm
	SURFACE MOUNTED DOWNLIGHT
	PENDENT LIGHT - DISK
	RECESSED FLUORESCENT LIGHT
	RECESSED FLUORESCENT LIGHT
	WALL SCONCE
	DIFFUSER
	RETURN AIR
	EXHAUST FAN



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SECOND FLOOR - REFLECTED
CEILING PLAN

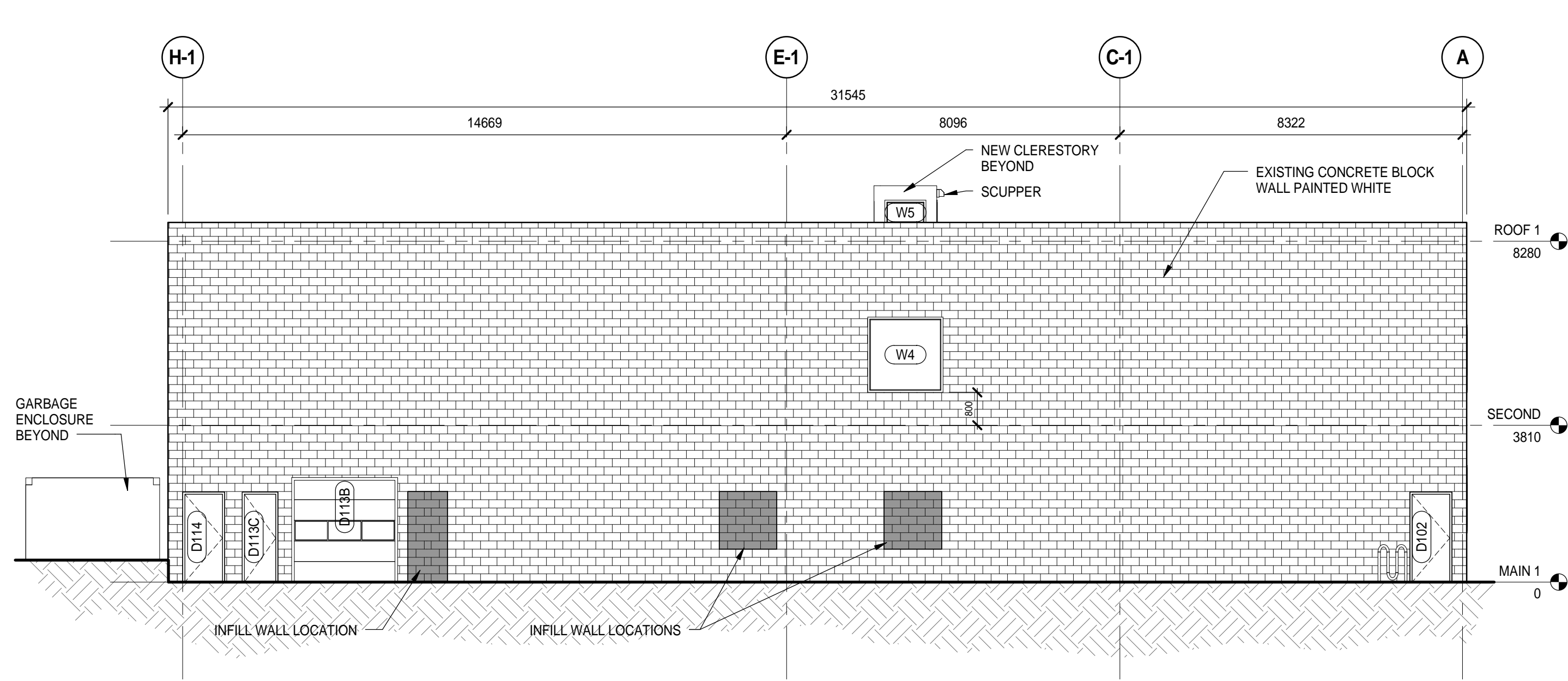
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	SCALE	REVIEWED
	1 : 100	JD

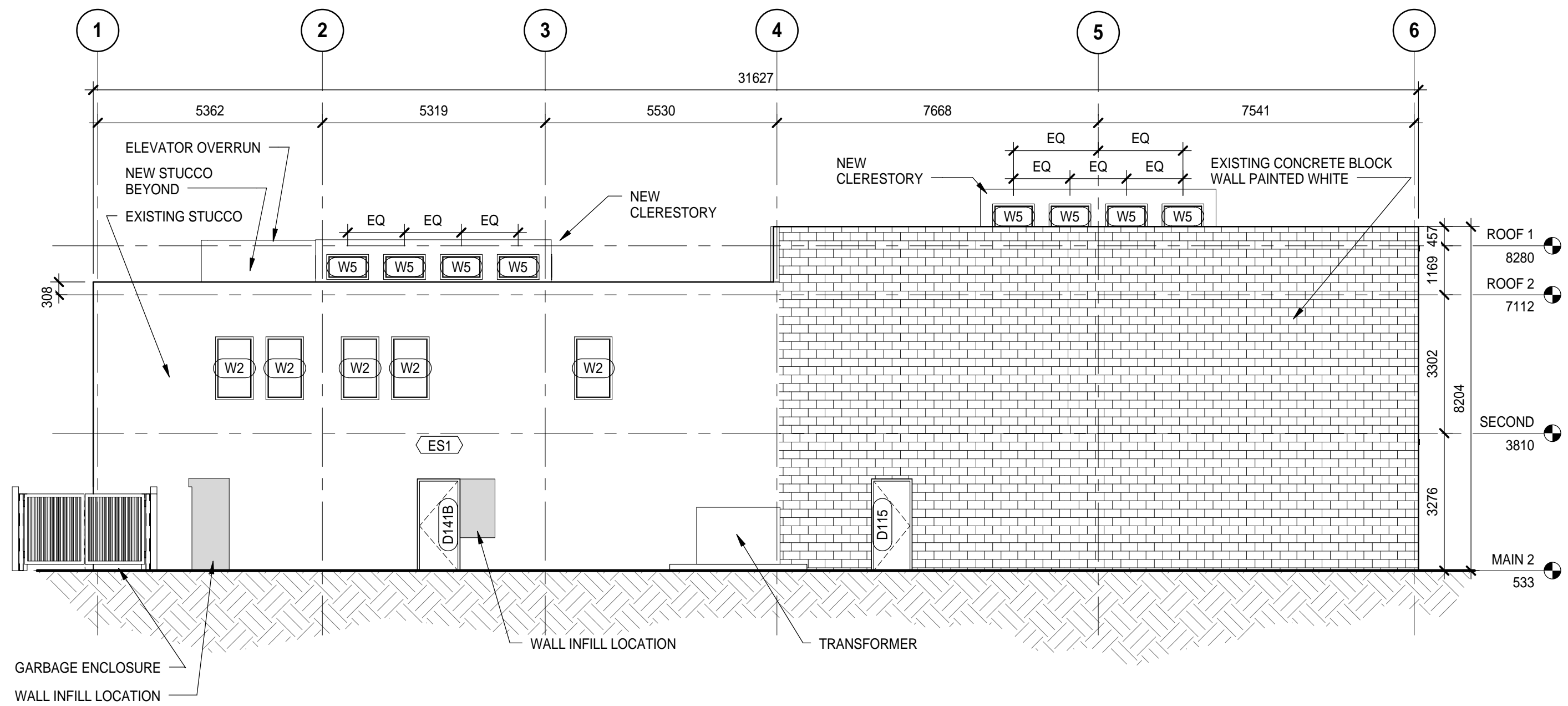
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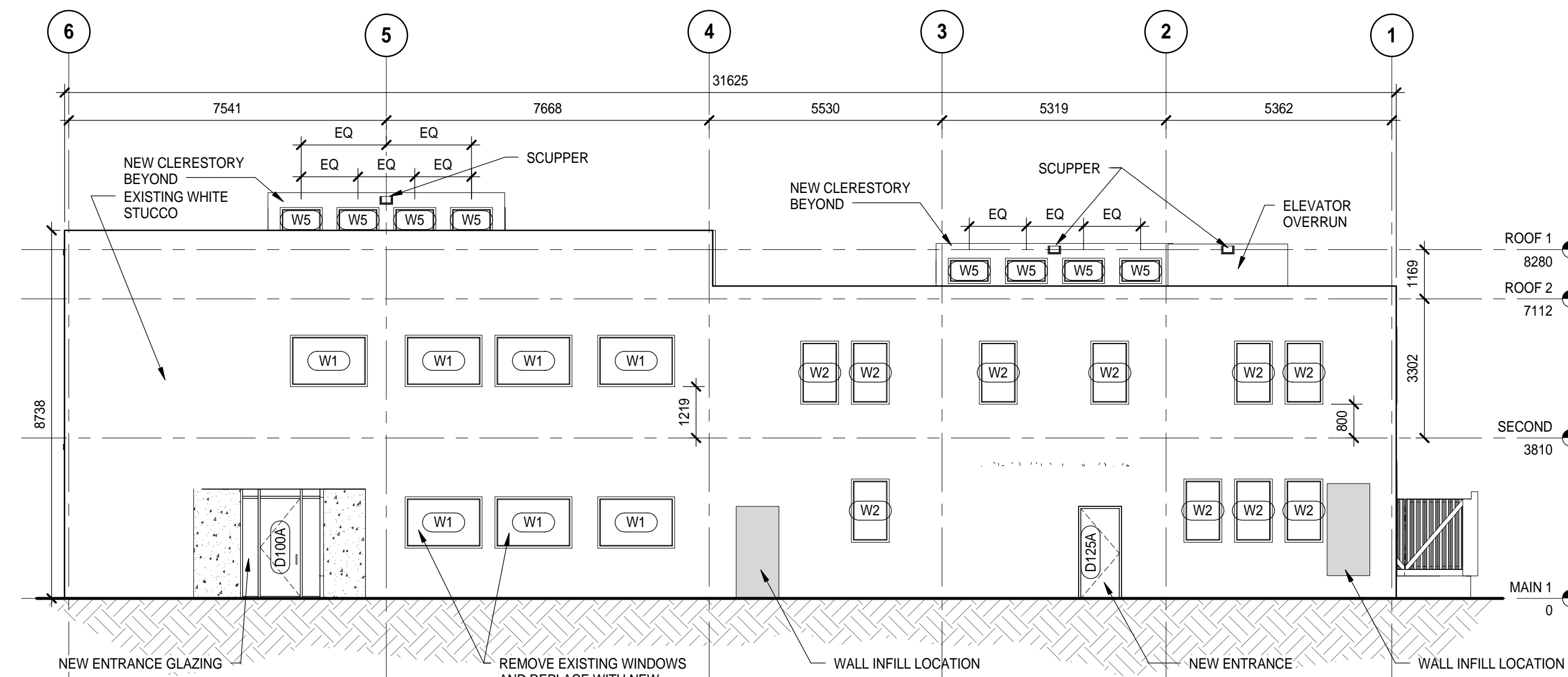
LEGEND				LIGHT TYPES	
CEILING TYPES					
	EXPOSED STRUCTURE		ATC - ACOUSTIC CEILING TILE (HIGHER NRC RATING)		
	STUCCO SOFFIT		CT - CEILING TILE		
	GWB - GYPSUM WALL BOARD				
	GWB-X - RATED GYPSUM WALL BOARD				



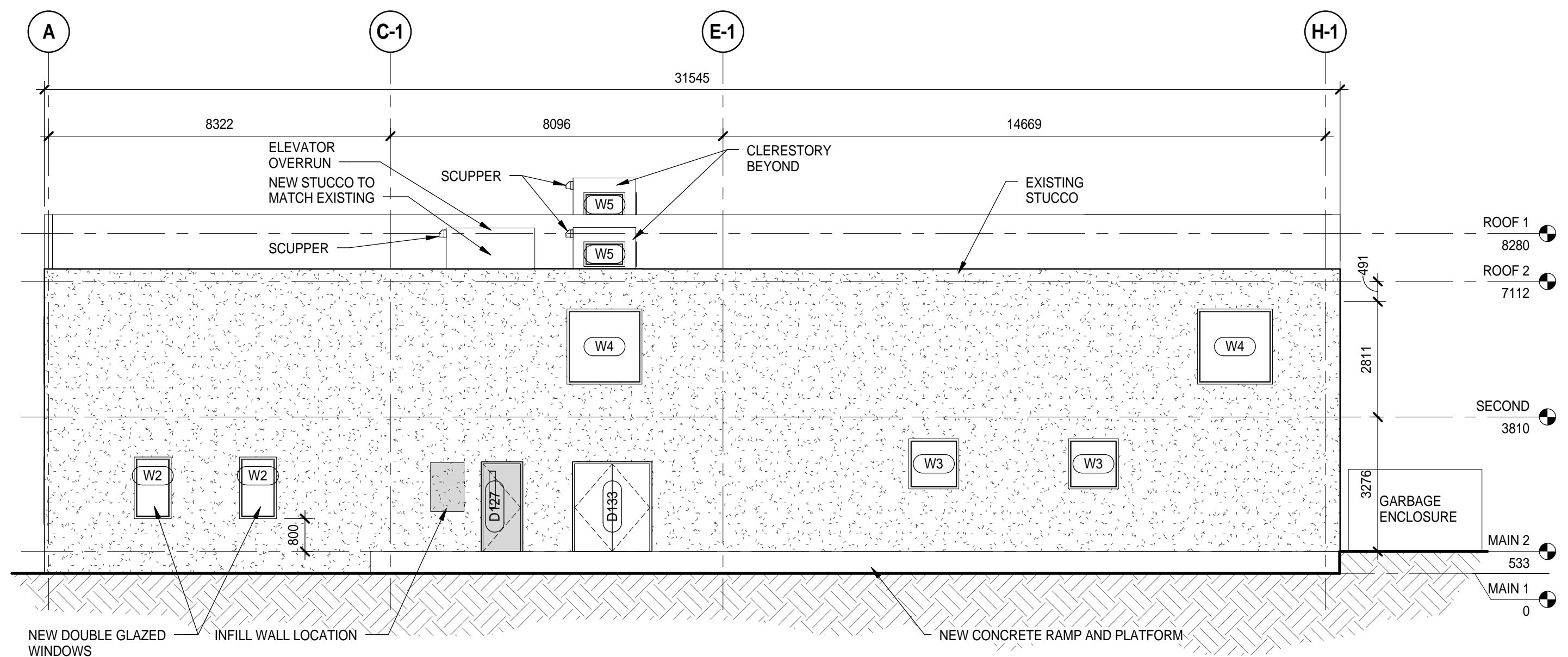
1 EAST ELEVATION
SCALE: 1 : 100



2 SOUTH ELEVATION
SCALE: 1 : 100



3 NORTH ELEVATION
SCALE: 1 : 100



4 WEST ELEVATION
SCALE: 1 : 100

D	2014-05-22	ISSUED FOR CONSTRUCTION & BUILDING PERMIT
B	2013-10-07	ISSUED FOR INFORMATION
A	2013-09-13	ISSUED FOR BUILDING PERMIT
REV.	YYYYMMDD	REVISION / DRAWING ISSUE REVIEW

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PROJECT

iHUMAN FACILITY RENOVATION

9635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING ISSUE

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MAY 22, 2014

PROJECT NO.	PLOT DATE	DRAWN	KASIAN
150162	MARCH 06, 2014	SCALE	1 : 100
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D



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9635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

PLAN DETAILS

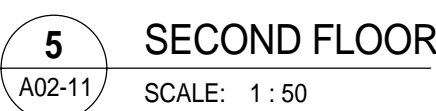
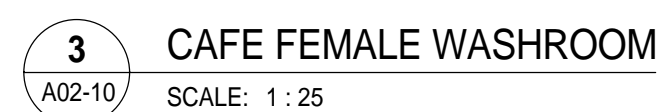
DRAWING ISSUE

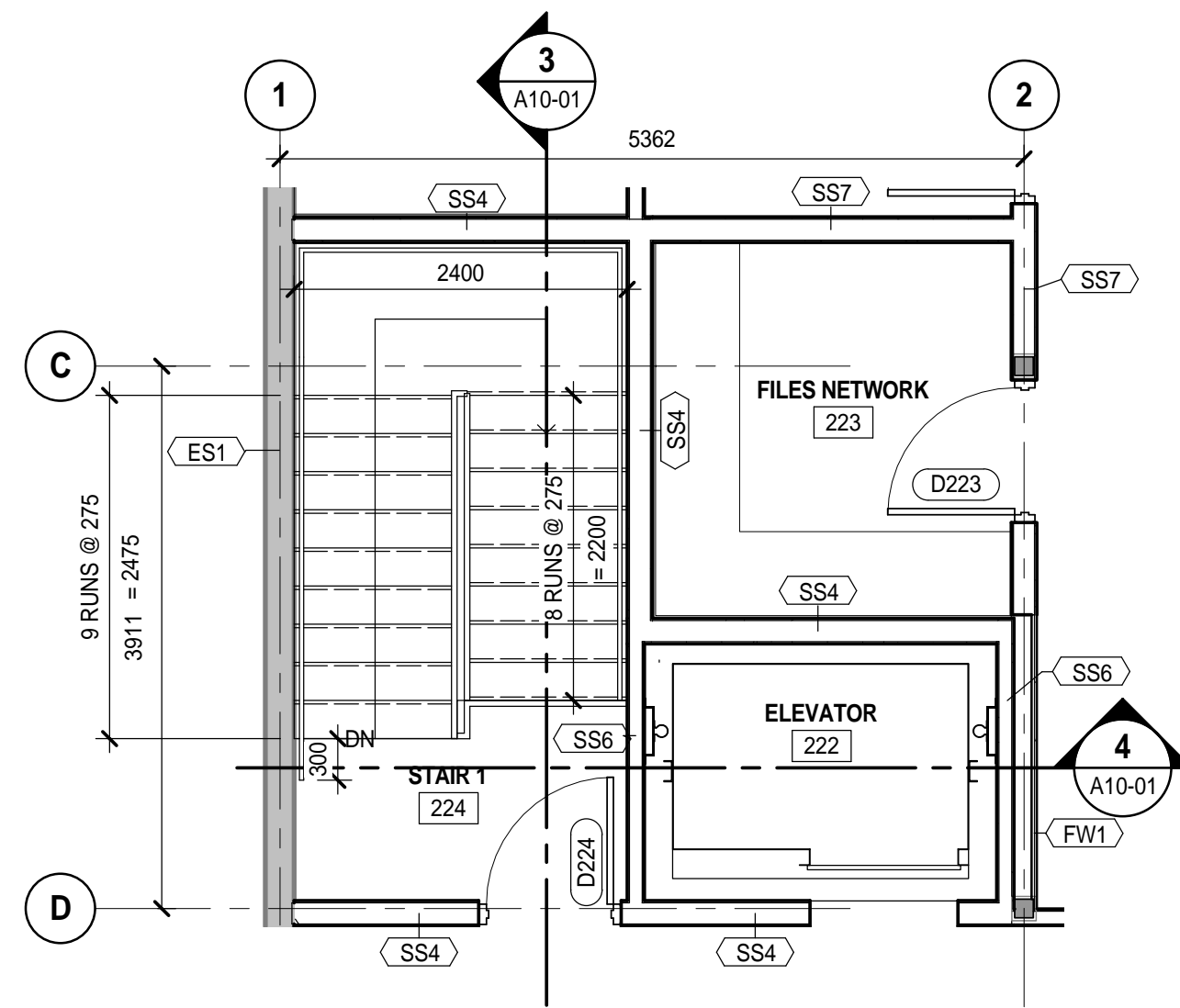
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MAY 22, 2014

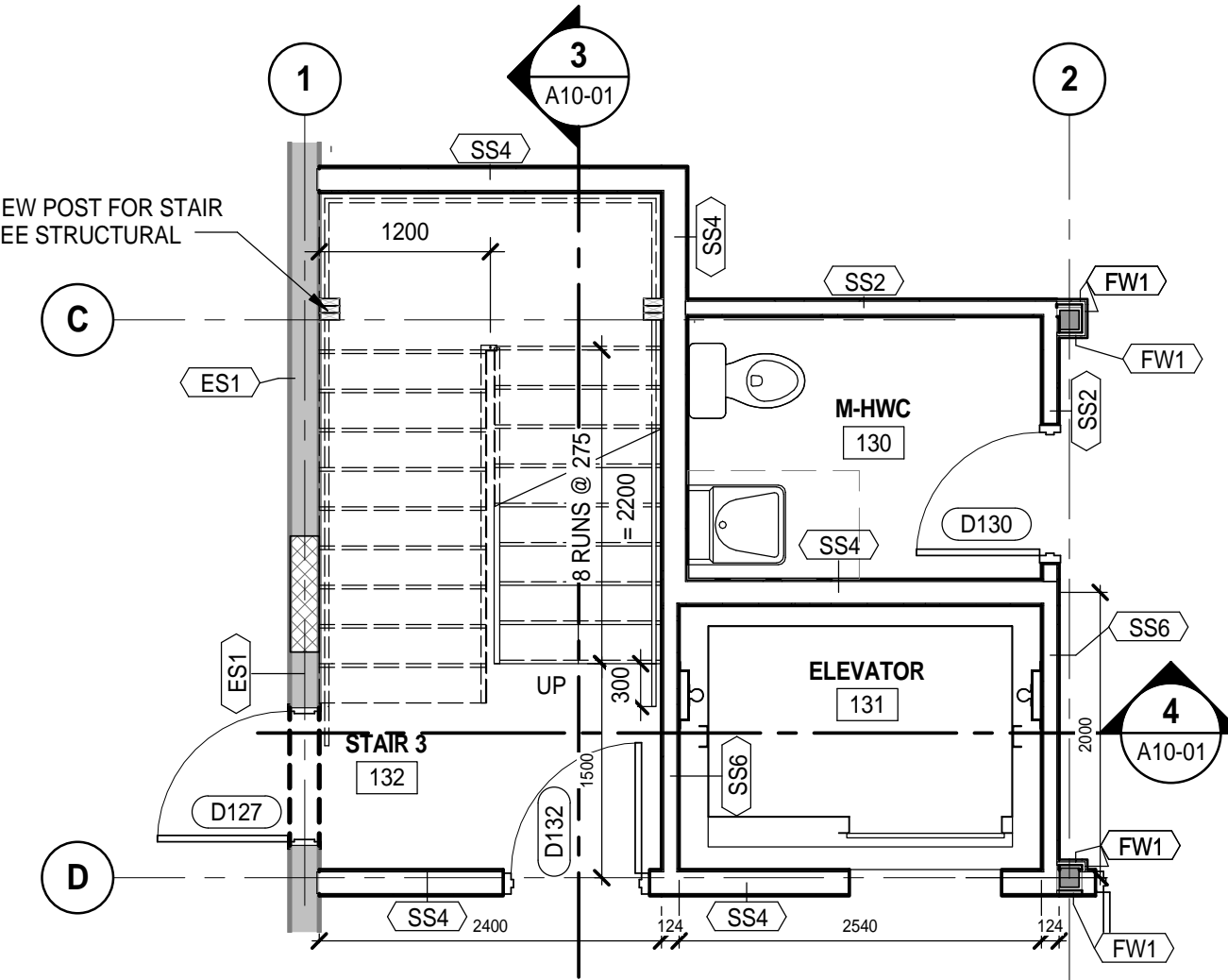
PROJECT NO. 150162	PLOT DATE MARCH 06, 2014	DRAWN KASIAN
	SCALE As indicated	REVIEWED JD

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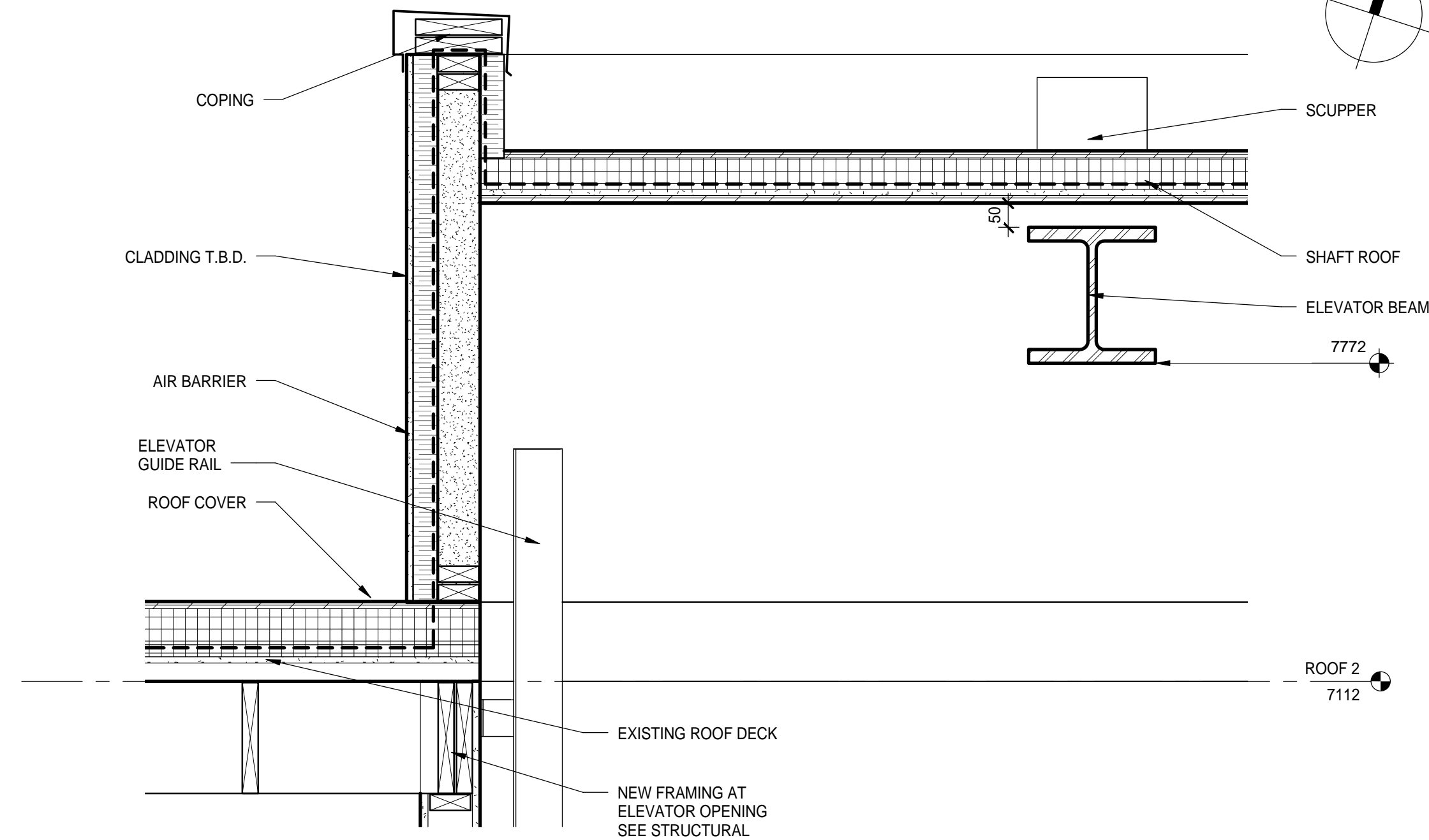




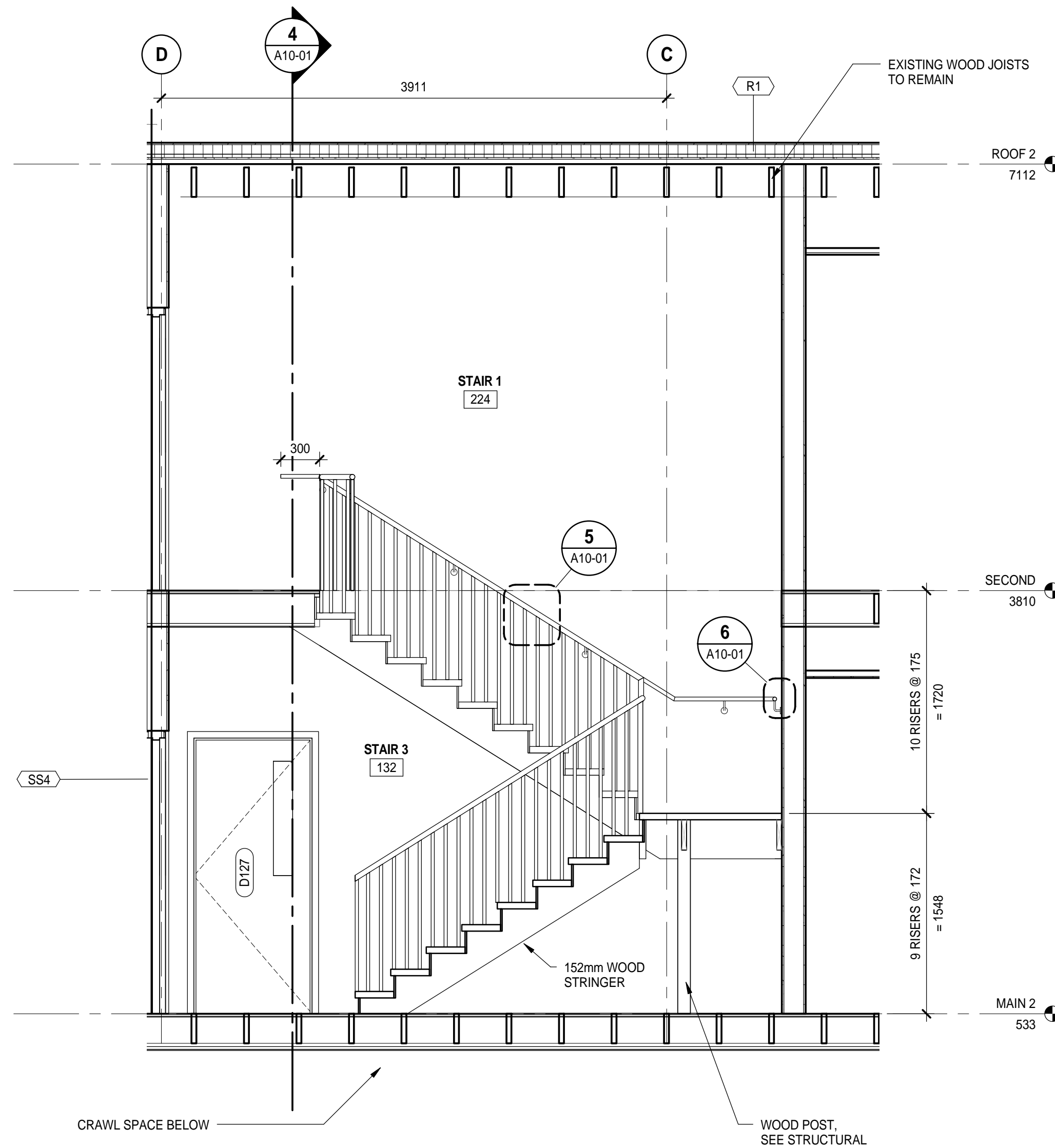
1 STAIR - SECOND FLOOR PLAN
A10-01 SCALE: 1 : 50



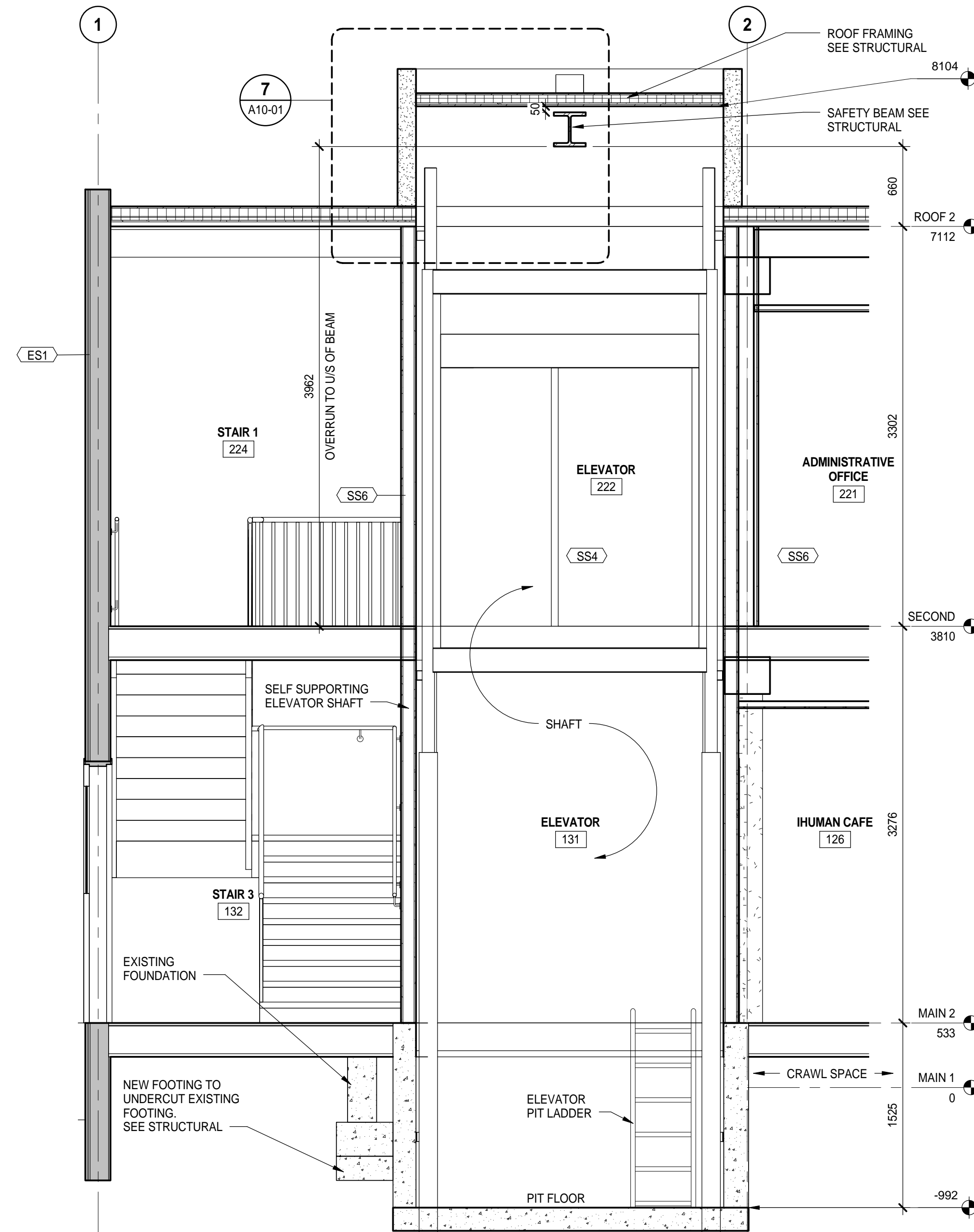
2 STAIR - GROUND FLOOR PLAN
A10-02 SCALE: 1 : 50



7 ELEVATOR OVERRUN DETAIL
A10-01 SCALE: 1 : 10

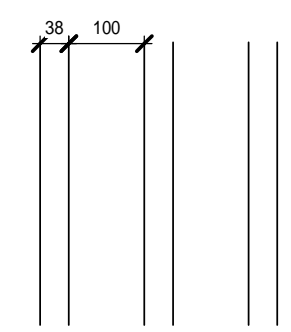


3 STAIR SECTION
A10-01 SCALE: 1 : 30

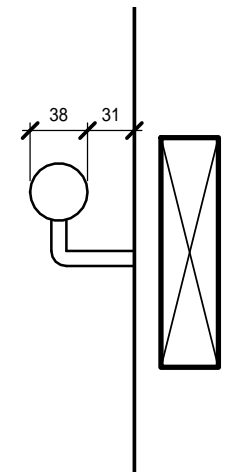


4 ELEVATOR - WALL SECTION
A10-01 SCALE: 1 : 30

NOTE:
HOISTWAY SIZE BASED ON
"THYSSEN KRUPP - ENDURA TWINPOST
ABOVE GROUND 1 - STAGE, 2500 lbs" ELEVATOR



5 BALLASTER SPACING
A10-01 SCALE: 1 : 10



6 HANDRAIL DETAIL
A10-01 SCALE: 1 : 5

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PROJECT

iHUMAN FACILITY RENOVATION

9635 102A AVE, EDMONTON, ALBERTA, CANADA

DRAWING TITLE

VERTICAL CIRCULATION

DRAWING ISSUE

ISSUED FOR CONSTRUCTION & BUILDING PERMIT

MAY 22, 2014

PROJECT NO.	PLOT DATE	DRAWN	KASIAN
150162	MARCH 06, 2014	SCALE	As indicated
DRAWING NO.	REVIEWED	JD	REVISION

A10-01

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